

SOLEBURY TOWNSHIP BOARD OF SUPERVISORS

June 21, 2016 – 7:00 P.M.

Solebury Township Hall

MINUTES

Attendance: Helen Tai, Chair, James Searing, Vice-chair, Noel Barrett, Paul Cosdon and Kevin Morrissey. Dennis H. Carney, Manager, Gretchen K. Rice, Assistant Manager, Jordan B. Yeager, Solicitor and C. Robert Wynn, Twp. Engineer, were also in attendance.

The Meeting was called to order followed by the Pledge of Allegiance.

Approval of Bills Payable Lists

Res. 2016-86 – Upon a motion by Mr. Cosdon, seconded by Mr. Searing, the lists of Bills Payable dated June 2, 2016 and June 16, 2016, were unanimously approved as prepared and posted.

Approval of Minutes

Ms. Tai noted the reference to an EAC vacancy was in error on page one.

Res. 2016-87 – Upon a motion by Mr. Morrissey, seconded by Mr. Searing, the Minutes of May 17, 2015 were unanimously approved with revision as noted.

Announcements/Resignations/Appointments

- Mr. Carney provided updates on the status of Fleecydale Road; River Road near Paxson Road; Comfort Road Bridge replacement; Public Works Facility; and overlay and tar & chip projects under way.

Supervisor Comment

- Ms. Tai provided the following update related to the PennEast Pipeline and correspondence received from Spectra:

"Last year, Solebury became the fourth municipality in Pennsylvania to pass a resolution opposing the PennEast Pipeline and only the second municipality to pass such a resolution among communities where the pipeline was not to be located. Since then, dozens more municipalities have followed our lead. I am proud that our community took a leadership position, not only by supporting our neighboring municipalities, but also by publicly recognizing that the pipeline doesn't have to be within the township borders to have severely negative consequences.

I bring this up again because Solebury Township has received correspondence from Spectra Energy regarding the various existing Texas Eastern pipelines that run through the Township. Based on Spectra's correspondence as well as a review of material available on the Internet, it is clear that Spectra is planning upgrades to the existing Texas Eastern pipeline network in the Township. These upgrades would include new facilities at certain areas.

Last year, when discussing the resolution opposing the PennEast pipeline, we speculated whether PennEast would want to hook up with the natural gas lines already located in Solebury Township. Now the Township has been made aware of the "Marcellus to Market" Project. It appears that the upgrades seek to facilitate movement of gas from the proposed PennEast project. PennEast is currently proposed to feed into the Lambertville Compressor Station at a point along the pipeline route. Spectra is also currently a 10% partner in the PennEast project.

Spectra cites "excess supply" east of Spectra/Texas Eastern's Lambertville, NJ Compressor Station. The available information suggests that the proposed "Marcellus to Market" upgrades are designed to allow Spectra's existing lines to move gas west to Chester County, Pennsylvania. The gas would then apparently be piped down to refineries and other industrial facilities in Philadelphia and Delaware.

This project is part of an extensive network by which gas extracted via hydraulic fracturing can be moved to facilities from which it can potentially be exported or be used for further industrial expansion.

We are aware of five Texas Eastern lines that traverse the Township: Lines 1, 2, 12, 19, and 27. Of these lines, Lines 12, 19, and 27 have appeared in news articles related to a recent explosion in Westmoreland County, PA. The blast toppled trees, razed one house, damaged others and sent one resident to the hospital with severe burns. The explosion involved Line 27, and 3 nearby lines were also shut down, including Lines 12 and 19 that run through Solebury. Line 19 was inspected and has returned to service. Based on a June 8 article from the Natural Gas Intelligence, it appears that Lines 12 and 27 remain shut down as Spectra carries out the tasks that it has been directed to do re: inspections and the like. (For more information, see: <http://powersource.post-gazette.com/powersource/companies/2016/05/11/Could-faster-gas-flow-have-contributed-to-Texas-Eastern-pipeline-erosion/stories/201605110092> and <http://www.naturalgasintel.com/articles/print/106690-tetco-capacity-in-pennsylvania-still-c>).

It seems every week we hear about a disastrous gas explosion, but it's always "somewhere else." I wanted to remind you that we do have pipelines in our community and that the pipelines are not without significant risks. The Township is seeking more information about all the various projects that Spectra appears to have planned for the Township, both maintenance and otherwise. I will keep you informed as we learn more."

- Mr. Cosdon noted that during previous discussions related to fracking, he had recused himself due to investments that involved industries associated with fracking, adding that he has since divested himself of those investments and will therefore be free to participate in discussions regarding this topic going forward.
- Mr. Morrissey commented on the bi-monthly emails that the Township is providing noting that the number of sign-ups is now close to 1,000.
- Mr. Cosdon, with some added clarification from the Township Solicitor, commented on recent actions taken by the Supreme Court related to firearms in parks.

Public Comment – No early public comment was offered.

PRESENTATIONS

Police Commendations – Chief Dominic Bellizzie presented Merit Commendations to the following citizens and officers:

1. Armando Jose Martinez – for his efforts in administering CPR to a victim resulting in the victim's full recovery;
2. Kathy Glenn and Melanie Bliss for their efforts in administering CPR to a victim that had suffered cardiac arrest resulting in that victim's full recovery;
3. Detective Corporal Jonathan Koretzky for his investigative efforts and participation as a member of a detective team investigating a series of burglaries in Bucks and Montgomery County resulting in an arrest and recovery of stolen property;
4. Sergeant Kevin Edwards and Officer Gary Forrester for their lifesaving efforts provided to an individual suffering a cardiac arrest resulting in their full recovery.

Police & Public Works Presentation – Chief Bellizzie and Township Manager Dennis H. Carney addressed the Board regarding the second phase of the Public Works project, being demolition of the pole barn currently used for salt storage, construction of a new salt storage building and renovation of the police department areas including conversion of the old public works garage area into additional police storage area.

Various hand-outs showing options for the new salt storage building, including design plans from 2015 prepared by Phillips & Donovan Architects were provided and a power-point presentation documenting the current conditions of the police department storage areas and locker areas was also provided. Copies of both presentations are attached to these Minutes.

Total estimated costs for a new salt storage building, depending on design and type of construction, range from \$236,000 to \$400,760. The estimated costs for the renovation to the police areas is \$326,753. Not included in the cost estimates provided was replacement of existing downstairs entrance to the Police Department that has experienced water infiltration and deterioration. This repair/replacement will need to be done whether or not any other renovations are undertaken to the other police areas. The cost for that work is roughly estimated at \$40,000.

Mr. Searing expressed concern about the cost involved opining that all of these proposals coming at once will require prioritization noting that the School District just raised its taxes and such expenditures by the Township impact many of the same residents.

Responding to concerns raised as to why the conditions in the police department were not brought up previously, Chief Bellizzie stated renovations and expansion of the police department was always discussed as a second phase of the new public works facility and that he has been raising the lack of space issues for years. It is just now that there is a real opportunity to address the issues with the public works moving into a new building. Previously there was no physical way to address the situation.

The Board discussed the possibility of phasing the work proposed in the police areas over a number of budget cycles. The Township Manager will contact the architects to determine whether or not doing the work in phases would be a viable option for the Township to consider.

The discussion also included the timeline and cost associated with transitioning from paper files to electronic, however the Chief noted that many of the records must remain available in paper form.

Mr. Tai suggested storing non-secured items off-site and questioned if a different design or layout had been considered. Mr. Cosdon noted that the library was able to reconfigure the inside of its building to address its space issues without building anything additional and Phillips & Donovan was the architect involved in that project also.

Responding to questions about the life of the current salt storage pole barn, Mr. Carney stated that it might last a couple years more.

The Township Engineer also noted that the NPDES permit, while good for a 5 year period, was issued based upon the demolition of the current salt storage pole barn and that area being returned to grass.

The Township Engineer advised that if the Township revises its plan and now proposes to keep the existing pole barn, it would be considered a 'major modification' and a revised NPDES plan will be required, and additionally, a basin would likely be required back in the park area in an area that is owned by the NHS school district and not the Township.

Mr. Carney provided a summary of options based upon a borrowing of \$1 million, prepared by the Township's financial consultant, PFM that addressed everything the police department was proposing in addition to the new salt storage building, demolition of the existing pole barn and returning that area to a grass area, noting that none of the options presented require an increase in taxes.

Resident CeCe Brillman encouraged the Board not to piecemeal the police department improvements, stating that this department should have been included when the new public works facility was constructed.

PUBLIC HEARINGS

HARB – Edward & Julie Dovan, 3770 Aquetong Road, Carversville, TMP 41-004-044 – The Historical Architectural Review Board reviewed the application and unanimously recommended issuance of a Certificate of Appropriateness as requested in the application. A copy of HARB's recommendation is attached to these Minutes.

The hearing was opened by the Chair. Following a brief discussion the hearing was closed.

Res. 2016-88 – Upon a motion by Mr. Cosdon, seconded by Mr. Searing, it was unanimously agreed to issue a Certificate of Appropriateness to TMP 41-004-044 as recommended by the Historical Architectural Review Board attached and made a part hereof. Issuance of this Certificate of Appropriateness does not relieve the applicant from obtaining any and all other applicable permits.

HARB – Raymond Joson, 6183 Stovers Mill Road, TMP 41-004-019 – The Historical Architectural Review Board reviewed the applicant and recommended issuance of a Certificate of Appropriateness as requested in the application. A copy of HARB's recommendation is attached to these Minutes.

The hearing was opened by the Chair. Following a brief discussion the hearing was closed.

Res. 2016-89 – Upon a motion made by Mr. Cosdon, seconded by Mr. Barrett, it was unanimously agreed to issuance a Certificate of Appropriateness to TMP 41-004-019 as recommended by the Historical Architectural Review Board attached and made a pert hereof. Issuance of this Certificate of Appropriateness does not relieve the applicant from obtaining any and all other applicable permits.

NEW BUSINESS

Municipal Open Space Grant Resolutions – This matter was tabled until a future meeting to be announced.

Township Manager Employment Agreement – Mr. Searing provided an overview of the 18 month Employment Agreement including Schedule “A” reached between the Board of Supervisors and the Township Manager.

Res. 2016-90 – Upon a motion by Mr. Searing, seconded by Mr. Cosdon, it was unanimously agreed to authorize the Chair and Vice-chair to execute the Employment Agreement with Schedule “A” between Solebury Township and Dennis H. Carney, as prepared.

Cohen Law Group Master Agreement with Verizon – Discussion – A number of Bucks County Consortium member municipalities are joining together to retain the Cohen Law Group to draft an agreement with Verizon. Most of the municipalities participating already have agreements with Verizon that are expiring. An opportunity is available for Solebury Township to participate in creating the draft agreement so that in the event the Township and Verizon wish to enter into an agreement in the future, the basic draft agreement would already be available. Solebury Township had retained Cohen Law Group in the past to review the current agreement with Comcast.

Following discussion, there were numerous questions from the Board that needed further detail and clarification. The Board determined that Solebury Township was not in a position to join the group at this time.

Letter of Support for additional EMS Reimbursement Funding – Central Bucks Ambulance has requested the Township to support additional funding from the Commonwealth for emergency service providers. A draft letter of support has been provided for the Township’s consideration.

A number of revisions to the draft letter were requested by the Board.

Res. 2016-91 – Upon a motion by Mr. Searing, seconded by Ms. Tai, it was unanimously agreed to authorize the Township Manager to sign a letter of support for additional emergency service funding, with revisions.

OLD BUSINESS

New Hope Crushed Stone – Ms. Tai provided the following update together with a power point presentation, a copy of which is attached to these Minutes:

“Since our last supervisor meeting on May 17, the following has occurred:

DEP CHANGE IN LEADERSHIP:

On May 20, PA DEP Secretary Quigley resigned and Patrick McDonnell was appointed as Acting Secretary. Under former Secretary Quigley, the DEP had finally started taking concrete steps to address the public nuisance and had imposed a reclamation plan upon the quarry. With his departure, we were concerned that the change in leadership might also lead to a change in direction with respect to the quarry.

We shared our concerns with the DEP Communication Group and were assured that they were committed to pursuing the same course of action. They also mentioned that Acting Secretary McDonnell had announced to the staff that all top priorities under Secretary Quigley were still top priorities for both himself and for Governor Wolf.

We also scheduled a follow-up meeting with Executive Deputy Secretary for Programs John Stefanko and Southeast Regional Director Cosmo Servidio. They also repeatedly reiterated their continued commitment for the current plan and agreed to take specific steps to address the concerns that we raised, including having Cosmo Servidio as well as Director of the Bureau of District Mining Operations Bill Plassio attend our next Communication Group Meeting.

KEY ACTIVITIES:

- *Reclamation and stream restoration work:*
 - *Reclamation work continues with backfilling the northwest corner along with moving material to that area of the quarry.*
 - *The 500,000 gallons per day pumping limit continues to be in place. As of May 20, the bottom lift was almost inundated thereby cutting that area off from mining and the resulting lost revenue.*
- *Other*
 - *On June 13, the DEP sent a letter to NHCS requiring them to provide a mining and reclamation bond of \$678,179. This is in addition to their current bond of \$465,850, bringing their total bond to approximately \$1.1 MM. They have 30 days to comply.*
 - *Settlement discussions are ongoing between DEP and NHCS*
 - *The DEP continues to load older and new documents to the DEP website, including inspection and compliance reports, correspondence, and project updates. These are available to the public at the DEP website (www.dep.pa.gov, click on regional resources > southeast region > community information). This link will be included in the next Solebury Township email update. Sign up for email updates at soleburytwp.org.”*

Farm Committee Ordinance – A draft Ordinance had been prepared by the Township Solicitor. Mr. Searing suggested some revisions to that draft and the Township Solicitor will revise the draft based upon those revisions supported by the Board and advertise the draft Farm Committee Ordinance for adoption at the July 19, 2016 meeting.

Res. 2016-92 – Upon a motion by Mr. Morrissey, seconded by Ms. Tai, it was unanimously agreed to authorize advertising the Farm Committee Ordinance for adoption on July 19, 2016 with revisions as agreed to by the Board.

Subdivisions/Land Developments/Conditional Uses – No applications were reviewed.

Public Comment

- Resident Dennis Mankin expressed his support for establishing a Farm Committee as proposed.
- Resident Dominic Marano addressed the Board concerning the recent revisions to the Township's 2016 Fee Schedule.

Adjournment

Res. 2016-93 – Upon a motion by Mr. Cosdon, seconded by Mr. Barrett, the meeting adjourned at 9:40 p.m.

Respectfully submitted,
Gretchen K. Rice
Asst. Manager
Secretary/Treasurer

**A. Action on Raymond Joson
6183 Stovers Mill Road, Carversville, PA
(Carversville Historic District)
HARB Plan Number 2016-05-E**

Upon a Motion by Scott Minnucci, seconded by Mark Baum Baicker, it was agreed to recommend issuance of a Certificate of Appropriateness to TMP#41-004-019 as outlined in Patrick Pastella's memo dated April 21, 2016, and to include that the windows will be painted Benjamin Moore Timid White; the goose neck lamps will be black and that the white metal roof will be a galvanized metal roof with a standing seam of 1-3/8-inch.

**In Favor – 4 members – Larry Peseski, Nancy Ruddle, Scott Minnucci and
Mark Baum Baicker**

Recused – 1 member – Patrick Pastella (Contractor for the project)

MOTION CARRIED

**A. Action on Edward and Julie Dovan
3770 Aquetong Road, Carversville, PA
(Carversville Historic District)
HARB Plan Number 2016-05-D**

Upon a Motion by Mark Baum Baicker, seconded by Nancy Ruddle, it was unanimously agreed to recommend issuance of a Certificate of Appropriateness to TMP#41-004-044 to remove the existing cedar siding and replace with same, with a six-inch exposure; remove the existing roof and replace with cedar shingles (8" to 10") to match; replace broken window panes with new glass; repoint stone foundation to make structurally sound again; all components sized to match existing.

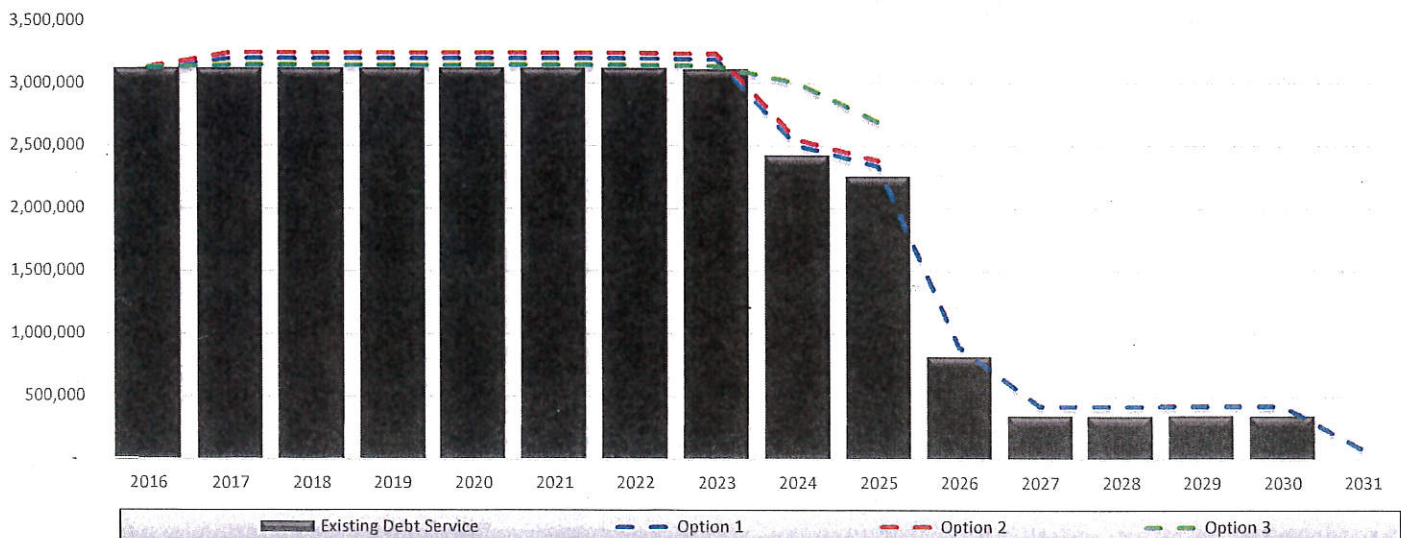
**TOWNSHIP OF SOLEBURY
SUMMARY OF NEW MONEY OPTIONS**

	1	2	3
	OPTION 1	OPTION 2	OPTION 3
<i>Principal</i>	\$1,000,000	\$1,000,000	\$1,000,000
<i>Term</i>	15 Years	9 Years	9 Years
<i>Final Maturity</i>	June 1, 2031	June 1, 2025	June 1, 2025
<i>Structure</i>	Level	Level	Wrap
<i>Total Interest</i>	\$217,583	\$122,233	\$203,408

4	5	6	7	8	9	10	11
Fiscal Year Ending	Existing Debt Service	Proposed Debt Service	Total Debt Service	Proposed Debt Service	Total Debt Service	Proposed Debt Service	Total Debt Service
12/31/2016	3,125,415	5,833	3,131,248	5,833	3,131,248	5,833	3,131,248
12/31/2017	3,124,470	81,288	3,205,758	124,738	3,249,208	25,988	3,150,458
12/31/2018	3,124,378	80,850	3,205,228	124,188	3,248,565	25,963	3,150,340
12/31/2019	3,124,174	80,388	3,204,561	124,575	3,248,749	25,938	3,150,111
12/31/2020	3,124,757	80,888	3,205,645	124,888	3,249,645	25,913	3,150,670
12/31/2021	3,124,452	81,338	3,205,789	124,138	3,248,589	25,888	3,150,339
12/31/2022	3,124,557	80,750	3,205,307	123,338	3,247,894	25,863	3,150,419
12/31/2023	3,115,964	80,138	3,196,102	123,475	3,239,439	25,838	3,141,802
12/31/2024	2,424,770	80,488	2,505,257	123,538	2,548,307	579,800	3,004,570
12/31/2025	2,258,582	80,788	2,339,370	123,525	2,382,107	436,388	2,694,970
12/31/2026	817,428	81,038	898,465	-	817,428	-	817,428
12/31/2027	345,594	80,300	425,894	-	345,594	-	345,594
12/31/2028	344,154	80,560	424,714	-	344,154	-	344,154
12/31/2029	347,462	81,680	429,142	-	347,462	-	347,462
12/31/2030	345,518	80,680	426,198	-	345,518	-	345,518
12/31/2031	-	80,580	80,580	-	-	-	-
12/31/2032	-	-	-	-	-	-	-
12/31/2033	-	-	-	-	-	-	-
12/31/2034	-	-	-	-	-	-	-
12/31/2035	-	-	-	-	-	-	-
TOTAL	31,871,675	1,217,583	33,089,258	1,122,233	32,993,908	1,203,408	33,075,083

Note: Assumes an initial 2.500% fixed rate through June 1, 2026, variable thereafter (if applicable) with a 4.000% cap rate

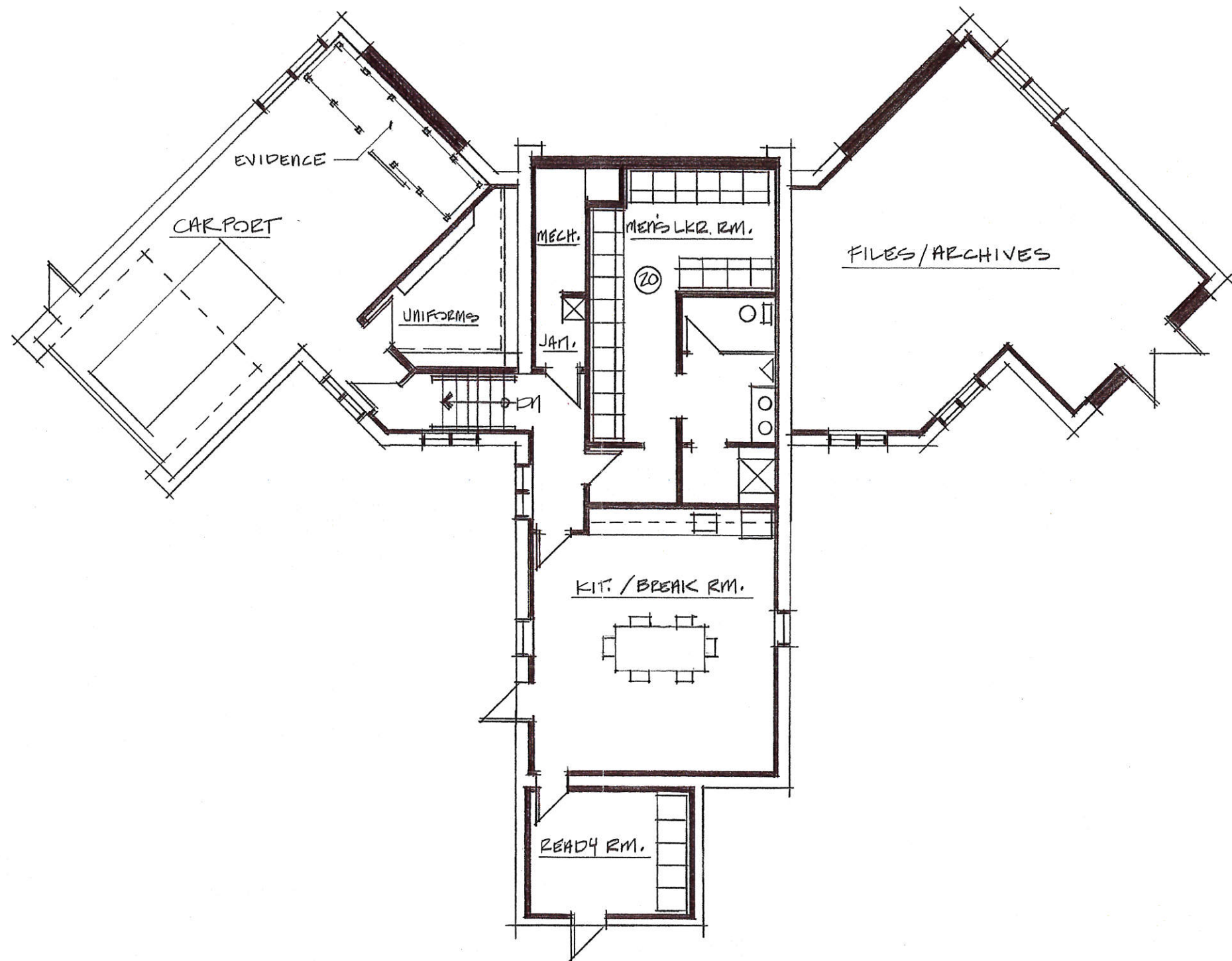
ILLUSTRATION OF DEBT SERVICE





Solebury Public Works Project - Existing Building - Updated

Description	Take-Off	Units	Unit Cost	Units	Total Cost
Demolition					
Interior Demolition	2151 sf		\$ 1.68 /sf		\$ 3,613.34
Wood & Plastics					
Framing	1173 sf		\$ 11.65 /sf		\$ 13,664.55
Thermal & Moisture Protection					
Insulation	2955 sf		\$ 1.02 /sf		\$ 3,000.00
Air Barriers	488 sf		\$ 1.73 /sf		\$ 843.16
Openings					
Doors, Frames, & Hardware	4 ea		\$ 612.00 /ea		\$ 2,448.00
Finishes					
Drywall	4628 sf		\$ 4.80 /sf		\$ 22,208.23
Stucco	869 sf		\$ 17.26 /sf		\$ 15,000.00
Acoustical Tile Ceilings	2049 sf		\$ 5.04 /sf		\$ 10,322.47
Floor Prep	920 sf		\$ 2.72 /sf		\$ 2,500.00
Flooring	2074 sf		\$ 4.29 /sf		\$ 8,907.59
Painting	12379 sf		\$ 1.45 /sf		\$ 17,956.77
Specialties					
Signs	8 ea		\$ 44.50 /ea		\$ 356.00
Toilet Partitions	1 ea		\$ 1,362.00 /ea		\$ 1,362.00
Toilet Accessories	15 ea		\$ 105.63 /ea		\$ 1,584.40
Lockers & Benches	52 lf		\$ 492.45 /lf		\$ 25,607.16
Furnishings					
P-Lam Wall Cabinets	17 lf		\$ 138.36 /lf		\$ 2,352.18
P-Lam Base Cabinets	17 lf		\$ 139.05 /lf		\$ 2,363.84
P-Lam Bench w/ Drawer	52 lf		\$ 298.80 /lf		\$ 15,537.60
P-Lam Tops	22 lf		\$ 44.95 /lf		\$ 988.79
Plumbing					
Plumbing Budget	217 sf		\$ 99.82 /sf		\$ 21,660.00
HVAC					
HVAC Budget	2465 sf		\$ 25.50 /sf		\$ 62,865.15
Electrical					
Electrical Budget	2450 sf		\$ 20.00 /sf		\$ 48,992.60
					\$ 284,133.83
OH&P - 5%					\$ 14,206.69
Project Contingency - 10%					\$ 28,413.38
					\$ 326,753.90



FLOOR PLAN

3/32" = 1'-0"



PROJECT
NORTH

04-18-16





Police Storage

June 21, 2016

7:00pm

File Room 1



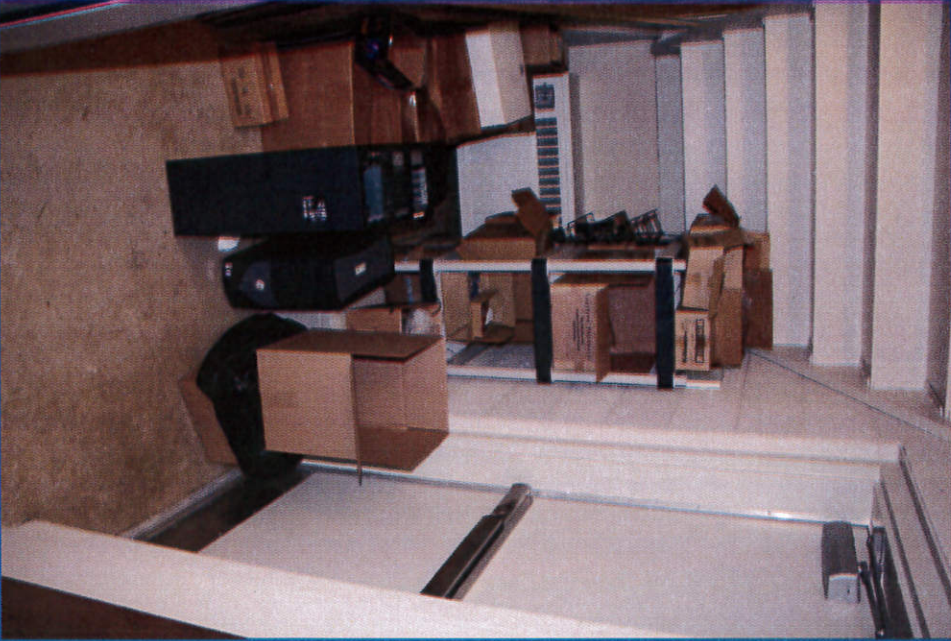
File Room 2



Stairway



Stairway



Stairway Exit



Squad Room



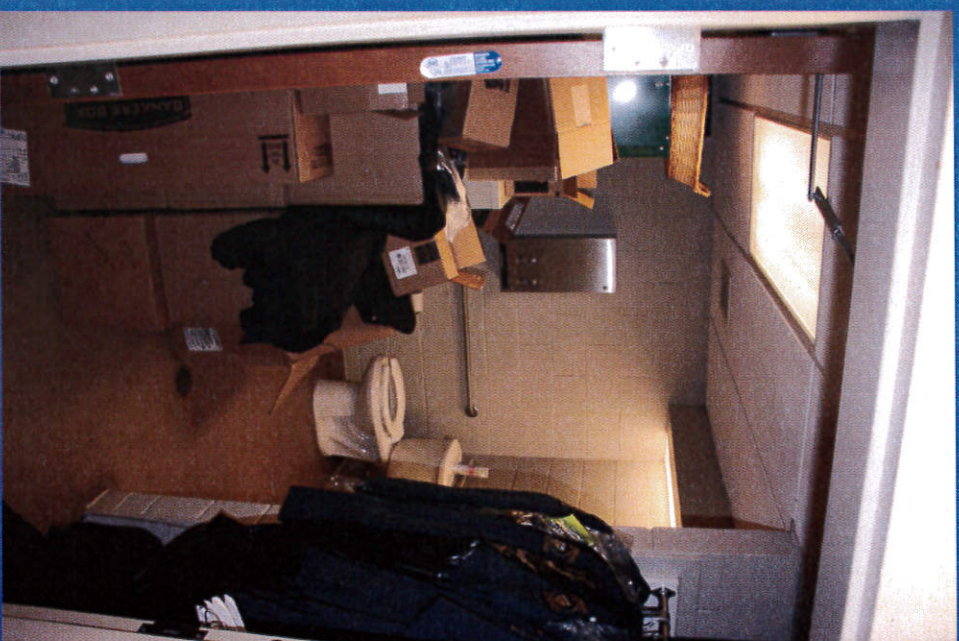
Men's Locker Room



Men's Locker Room



Women's Locker Room



Women's Locker Room



Garage



Cell Area



Evidence Maintenance Cabinet



Back Entrance



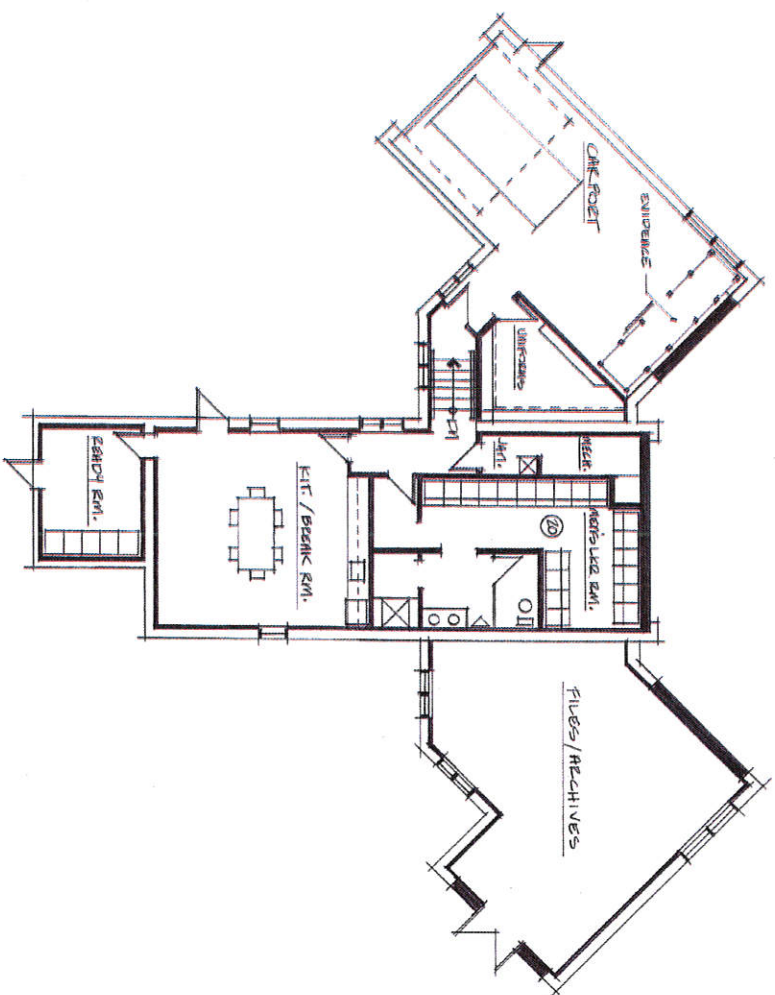
Mold/Cracking Walls



Mold



New Plans



FLOOR PLAN

3/32" = 1'-0"



04-18-16

**PHILLIPS &
DONOVAN
ARCHITECTS, LLC**

phillipsdonovanarchitects.com

Bucks County Office: P.O. Box 160, 3160 Bedminster Road, Bedminster PA 18910, 215-795-2400

Lehigh Valley Office: 210 West Broad Street, Bethlehem PA 18018, 610-317-0221



Cost



Solebury Public Works Project - Existing Building - Updated

Description	Take-Off	Units	Unit Cost	Units	Total Cost
Demolition					
Interior Demolition	2151	sf	\$ 1.68	/sf	\$ 3,613.34
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Thermal & Moisture Protection	488	sf	\$ 1.73	/sf	\$ 843.16
Insulation					
Air Barriers					
Openings	4	ea	\$ 612.00	/ea	\$ 2,448.00
Doors, Frames, & Hardware					
Finishes					
Drywall	4628	sf	\$ 4.80	/sf	\$ 22,208.23
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Flooring	2074	sf	\$ 4.29	/sf	\$ 8,907.59
Painting	12379	sf	\$ 1.45	/sf	\$ 17,956.77
Specialties					
Signs	8	ea	\$ 44.50	/ea	\$ 356.00
Toilet Partitions	1	ea	\$ 1,362.00	/ea	\$ 1,362.00
Toilet Accessories	15	ea	\$ 105.63	/ea	\$ 1,584.40
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Electrical					
Electrical Budget	2450	sf	\$ 20.00	/sf	\$ 48,992.60

OH&P - 5%

\$ 14,206.69

Project Contingency - 10%

\$ 28,413.38

\$ 326,753.90

Total Costs

Feature	Cost
50x56 Salt Building wood frame as pictured in brochure includes electric and doors (floor not included)	\$236,000.00
50x56 Salt building concrete frame as pictured in brochure includes electric and doors (floor not included)	\$363,000.00
60x60 Salt building as bid includes floor, electric and doors	\$400,760.00

Bids received in 2015 for Salt building

TE Construction	\$549,000
CC Construction	\$215,000
Center Point Construction	\$460,000
Walter Brucker	\$378,342

Average \$400,760

The *Hi-Arch Gambrel*™

The smart
year-round
solution for
salt storage—
and so much more

AST 
ADVANCED STORAGE TECHNOLOGY, INC.



Undercover Operation

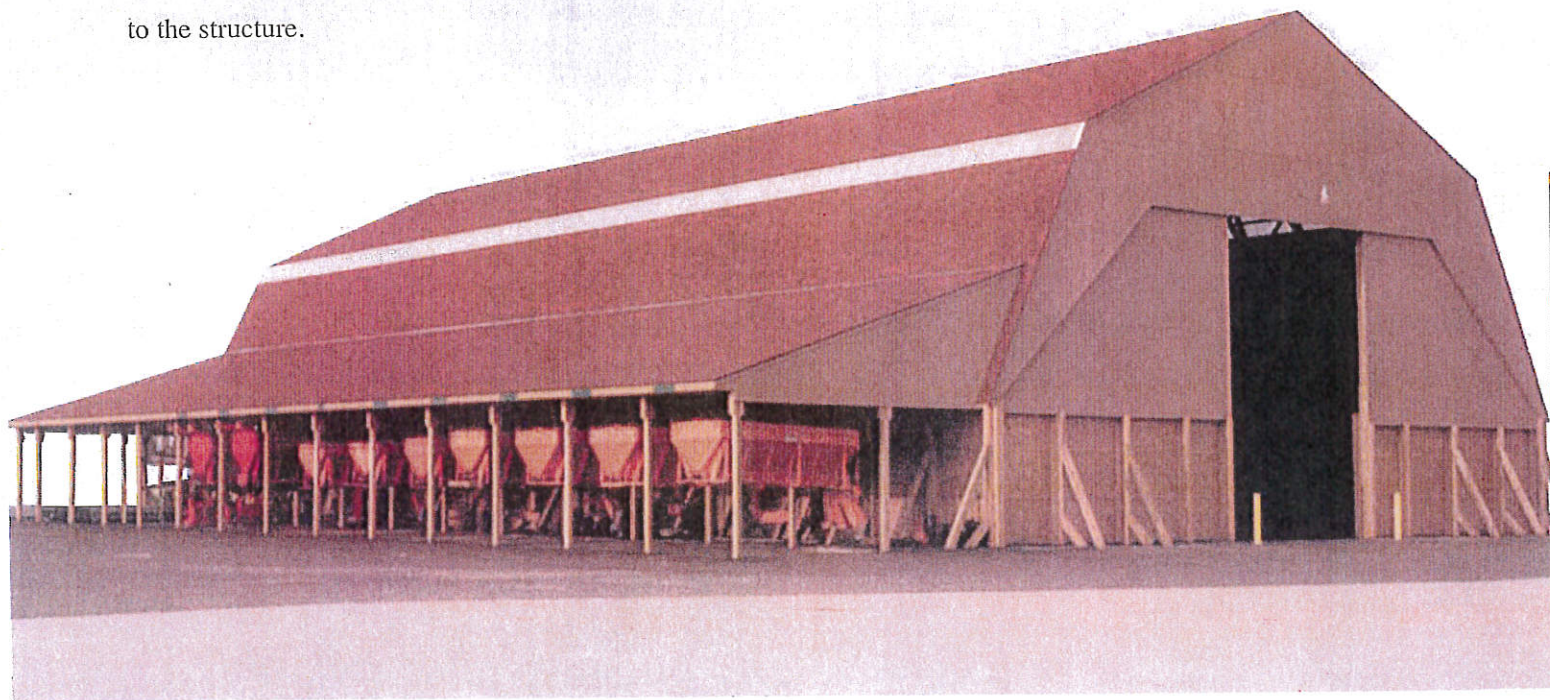
Since 1980, the Hi-Arch Gambrel™ has proven to be the smart solution for hundreds of municipalities, counties, and states across the U.S.

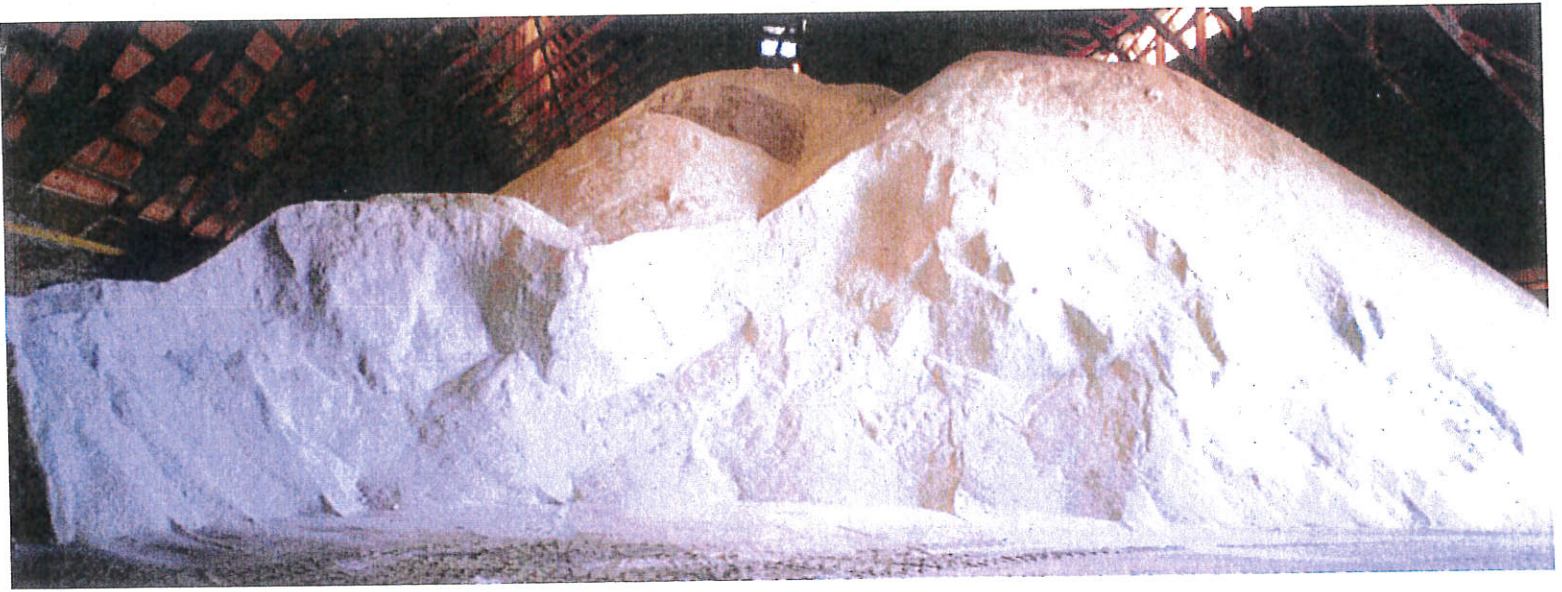
The Hi-Arch Gambrel features an interior clearance of 30' or more, extending the full length of the building. **As a result, tractor-trailers can dump salt directly under cover, and mixing and loading operations can be done inside too.** This not only protects the environment, but enables crews to work more safely and efficiently, saving both time and money.

Generous headroom maximizes the building's capacity. Ample lighting and ventilation also make it an ideal summer work area. A lean-to can be attached to add even more function and versatility to the structure.

Our building design has been analyzed and approved by numerous engineering departments, including many state Departments of Transportation. In fact, many of our clients are so satisfied with the Hi-Arch Gambrel's structural and fiscal performance that they have become repeat customers.

The Hi-Arch Gambrel gives you more for your money, because it's more than salt storage—it's a year-round, multi-purpose public works facility!





Each community and its storage needs are unique. The Hi-Arch Gambrel's versatile design can be tailored to store one or more piles of salt, mix or other materials, and to fit your site and budget requirements. A wide range of sizes can accommodate quantities from a few hundred tons to many thousands of tons.

After discussing your storage needs for salt and other materials, we can recommend sizes and layouts to meet your specific operational requirements.

Protects the Environment

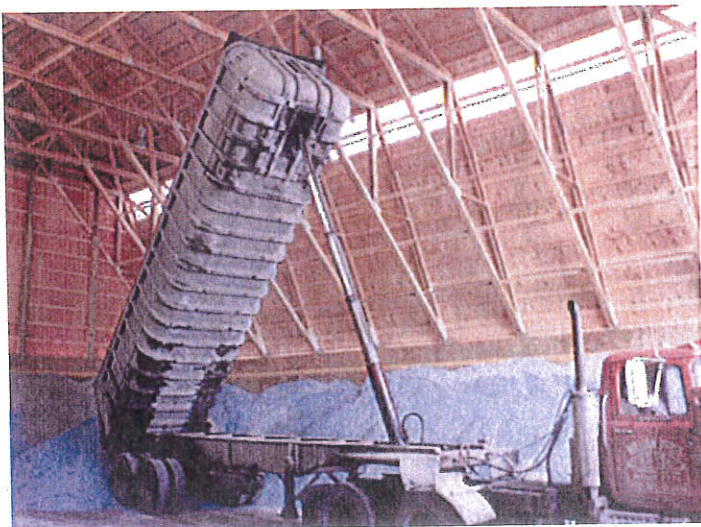
Undercover operation improves efficiency and keeps you in compliance with environmental regulations. Inside dumping and operations:

- Eliminate outdoor salt piles
- Prevent weather exposure
- Prevent runoff and decrease pollution liability

Maximizes Your Capacity

The Hi-Arch Gambrel's 30-foot-plus vertical clearance and rectangular shape allow you to fill the structure to capacity without the need for costly conveyors. Twelve foot (12') high crib walls provide ample headroom, and front-end loaders can build the pile height toward the center of the building at the natural angle of repose of the material.

With the Hi-Arch Gambrel, you can store more material per square foot than other structures, so it takes up less space on your site—and that means lower site work and paving costs.



*Inside
Dumping*

Strong

Many Features

High Strength—Low Maintenance

The Hi-Arch Gambrel stands up to real-life working conditions. The crib wall panels are internally reinforced to withstand operational impact from equipment, as well as to support the weight of stored material. Salt will not harm the wall structurally, and the exterior can be painted or left natural. And while the wood wall is more economical, a concrete wall can be substituted if that would best meet the needs of your particular facility.

Our permanent, durable roof system consists of asphalt shingles or metal panels supported by a plywood deck over sturdy wood trusses.

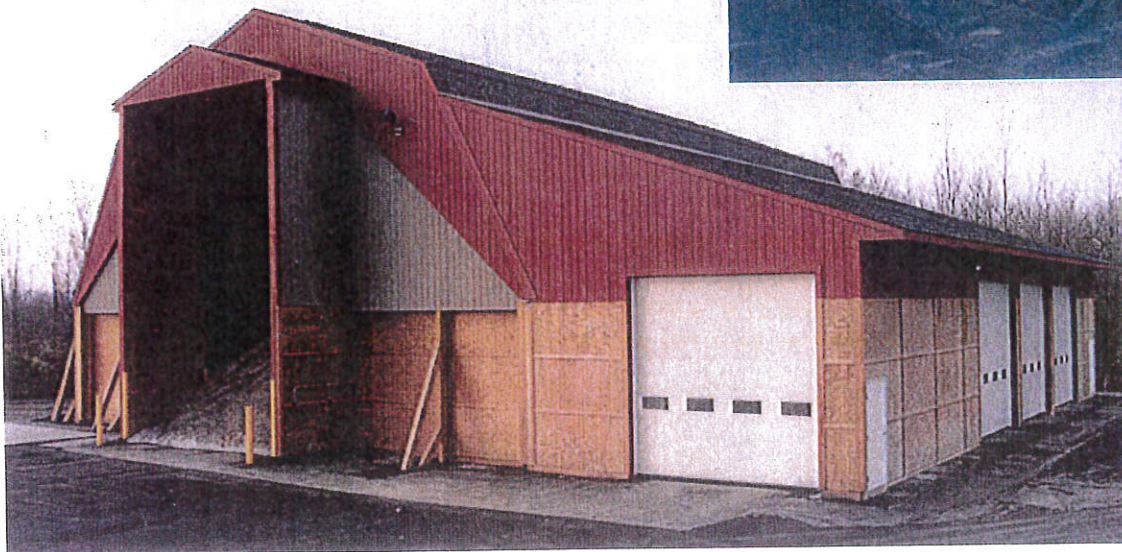
The Lean-To—a popular and versatile option

A lean-to can be located on any side or end wall. When unenclosed, it serves as a basic and inexpensive way to shelter valuable equipment and supplies. When fully or partially enclosed, it can be customized for weathertight secure storage, a maintenance area or workshop—even office space. The lean-to can be built at the same time as the main structure or added at a future date.



Aesthetics

Materials and finishes can be chosen to harmonize with surroundings and other buildings nearby. You can have a shingle or metal roof, decorative elements such as cupolas, dormer windows and shutters, standard or custom siding, and colors of your choice.



Options

Vents and Skylights

The Hi-Arch Gambrel has full-length ridge and eave vents that provide ample passive ventilation; mechanical fans are not needed. Translucent skylight panels extend the length of the roof on both sides to provide plentiful natural lighting during daylight hours.



Overhead Doors

For added security or protection from the weather, an electrically operated overhead door can be installed in the main entranceway, with a manual exit door nearby.



Side Entrance

A side entrance offers an ideal design for storing multiple products. The side entrance can be off-centered in order to accommodate piles of various size while still providing a covered area for mixing and loading. Multiple entrances can also be provided.



Concrete Wall

If you prefer, a concrete wall can be substituted for the reinforced wood panel system.



Multi-functional

Save Money

The Hi-Arch Gambrel:

- Prevents wasteful and costly runoff of salt
- Prevents double handling by your crews
- Prevents lumps and crusts which lead to clogged spreaders, downtime, and delays in serving your taxpayers
- Increases operational efficiency and reduces overtime and payroll costs
- Eliminates the need for conveyors which are expensive to purchase, operate, and maintain
- Prevents possible legal and environmental costs that result from salt runoff

The Hi-Arch Gambrel can help you save money on salt purchases, since many vendors give discounts for larger orders and early-season deliveries. This results in an even faster payback on your new building!



Improve Your Working Environment

- Delivery, mixing, and loading inside means your crews operate in dry, safe conditions regardless of the weather
- Salt and other materials stay dry and easy to work with
- Mixing can be done in advance, so your crews don't have to spend time mixing outdoors during a storm
- Inside operation reduces noise from loaders and other vehicles
- Both natural and artificial light sources facilitate operations and conserve energy
- Ridge and eave vents provide excellent passive ventilation and eliminate the need for fans

Small Building Design

For storage needs of less than 500 tons, we have developed a design for smaller structures. Please let us know if you would like further details on this option.

Economical & Efficient

Knowledgeable

We'll work with you

Our knowledgeable team can assist you throughout the planning process. We'll help analyze your needs and recommend the appropriate size and features for your operations— and your budget. We can work with your department and any other officials or consultants involved in your project.

To help you make the most informed decision, we can provide information including:

- Sizes, capacities, features, and budget prices
- How the Hi-Arch Gambrel compares to other types of storage structures
- Wall and foundation options
- Issues relating to salt storage sites
- Services we can provide
- Customer references

Let's get started!

Just tell us how you work, and we'll design a building that will work for you for years to come.



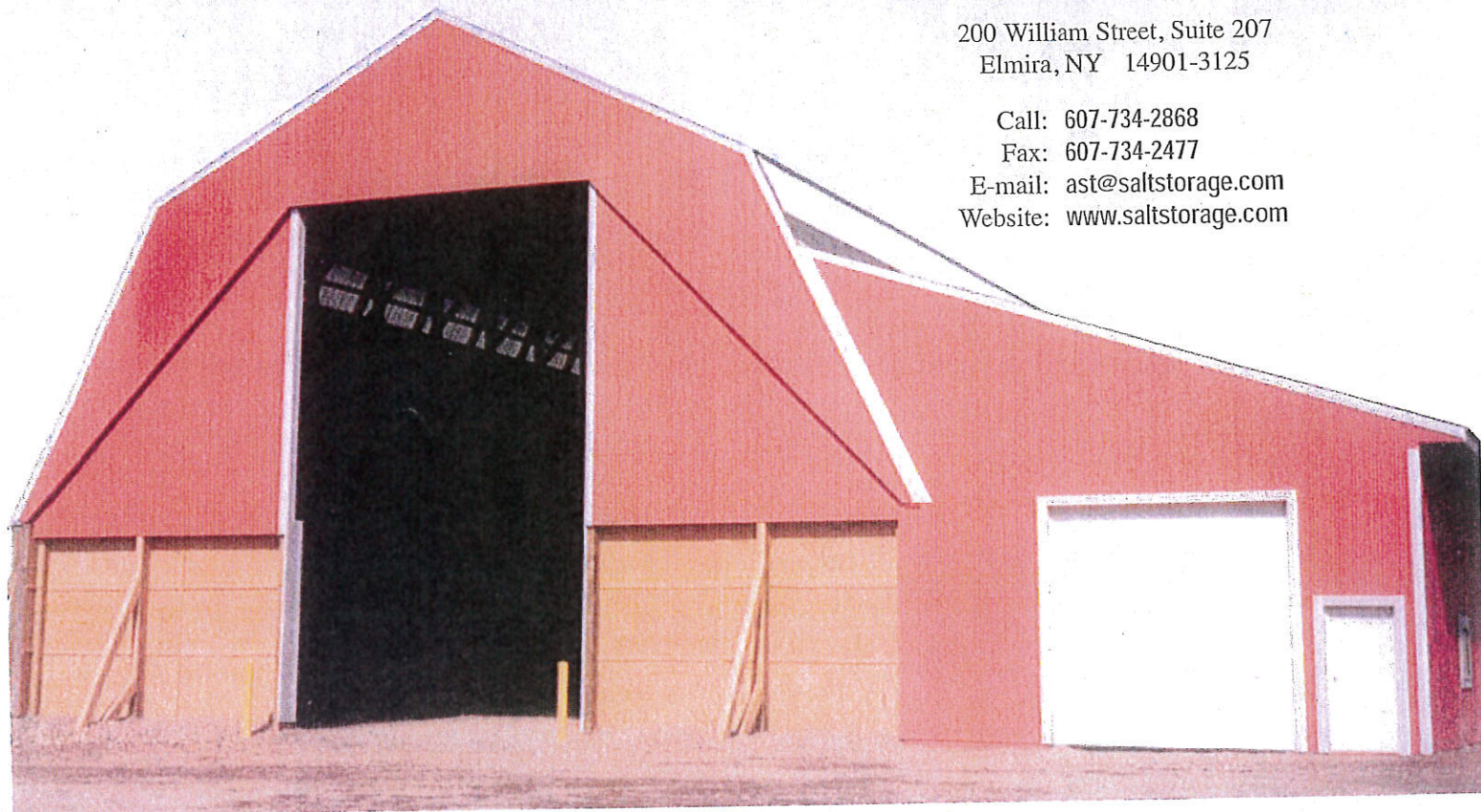
200 William Street, Suite 207
Elmira, NY 14901-3125

Call: 607-734-2868

Fax: 607-734-2477

E-mail: ast@saltstorage.com

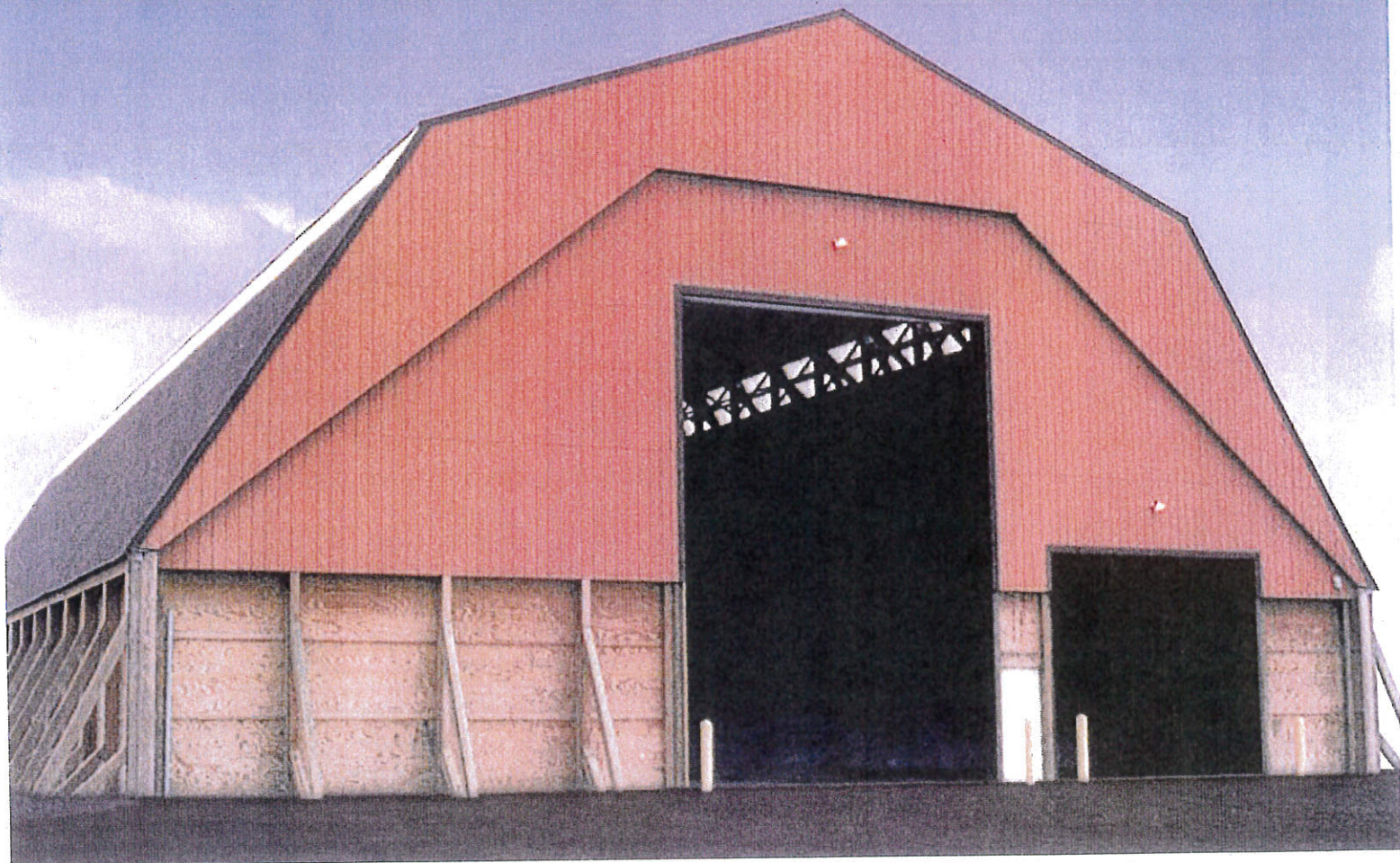
Website: www.saltstorage.com



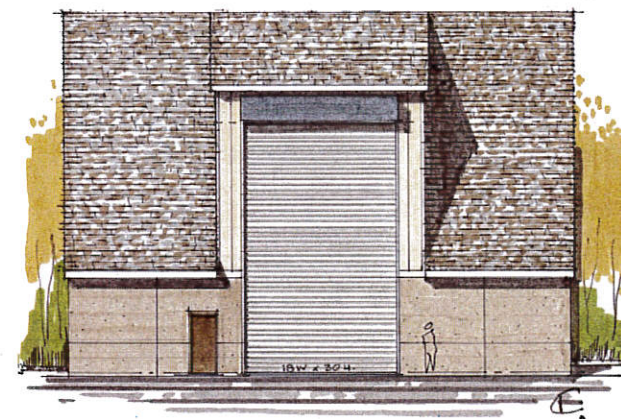
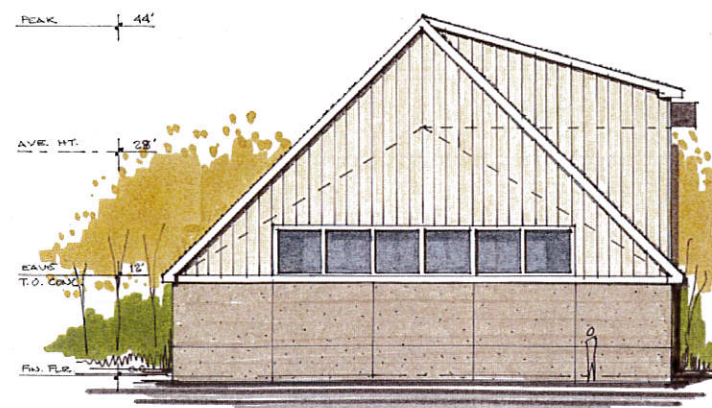


**200 William Street, Suite 207
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**Call: 607-734-2868
Fax: 607-734-2477
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Plan



ELEVATIONS

1/16" = 1'-0"

06-13-16

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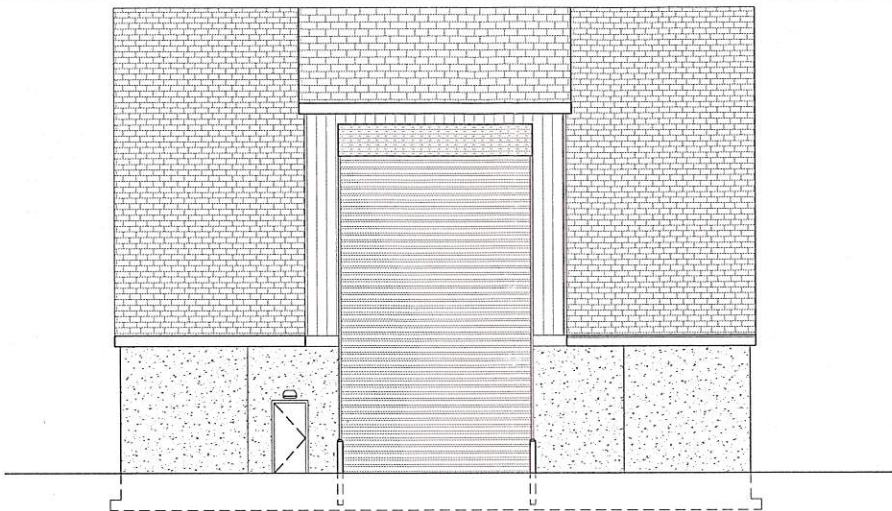
SOLEBURY TOWNSHIP
PUBLIC WORKS - SALT STORAGE BUILDING



PhillipsDonovanArchitects.com Bucks County Office: P.O. Box 160, 3160 Bedminster Road, Bedminster PA 18910, 215-795-2400 Lehigh Valley Office: 210 West Broad Street, Bethlehem PA 18018, 610-317-0221

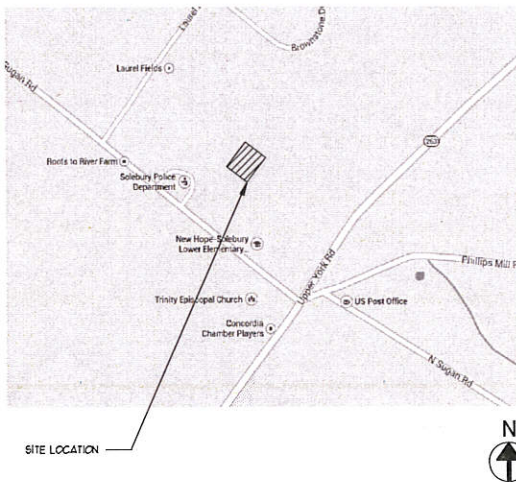
SOLEBURY TOWNSHIP NEW SALT STORAGE BUILDING

SUGAN RD., SOLEBURY, BUCKS COUNTY, PA



EAST ELEVATION
1/8" = 1'

SITE LOCATION MAP:



KEY PLAN:



NEW SALT STORAGE BUILDING

GENERAL NOTES:

- 1) THE ARCHITECT'S SEAL, WHICH APPEARS ON THESE DRAWINGS, MUST APPEAR IN RED TO BE VALID.
- 2) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL BUILDING CODES AND ORDINANCES, AND SHALL TAKE PRECEDENCE OVER THESE DRAWINGS AND/OR SPECIFICATIONS. THIS INCLUDES BUT IS NOT LIMITED TO VARIOUS ISSUES OF THE 2009 INTERNATIONAL BUILDING CODE, THE AMERICANS WITH DISABILITIES ACT, THE PENNSYLVANIA LABOR AND INDUSTRY CODE, AND THE PENNSYLVANIA DEPARTMENT OF LABOR AND INDUSTRY UNIVERSAL ACCESSIBILITY STANDARDS.
- 3) ALL CONSTRUCTION REQUIREMENTS AND MATERIALS SPECIFIED SHALL BE IN ACCORDANCE WITH THE STANDARDS AND DETAILS OF THE LOCAL GOVERNING BODY, THE LOCAL MUNICIPAL AUTHORITY, AND/OR OTHER AGENCIES HAVING JURISDICTION AT THE LOCATION OF CONSTRUCTION WHICH SHALL TAKE PRECEDENCE OVER THESE DRAWINGS AND/OR SPECIFICATIONS.
- 4) IN GENERAL, SHOULD A CONFLICT OR DISCREPANCY ARISE BETWEEN LOCAL CODES, ORDINANCES OR REGULATIONS, AND THESE DRAWINGS AND/OR SPECIFICATIONS, THE MOST RESTRICTIVE PROVISION SHALL BE APPLIED AND GOVERN THE WORK OF THIS CONTRACT, HOWEVER, ANY CONFLICT OR DISCREPANCY SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION, IN WRITING, FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- 5) DO NOT SCALE DRAWINGS. USE THE DIMENSIONS GIVEN. DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE MEASUREMENTS AND DETAILS OVER GENERAL DRAWINGS.
- 6) SHOULD AN ERROR OCCUR WITH THE DRAWINGS AND/OR SPECIFICATIONS, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION, IN WRITING, BEFORE PROCEEDING WITH THE WORK.
- 7) ANY DEVIATION FROM THE DRAWINGS AND/OR SPECIFICATIONS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 8) SEE PLANS FOR LOCATION OF EMERGENCY LIGHTING, EXIT SIGNS, FIRE AND SECURITY ALARMS, AND AUTOMATIC SMOKE DETECTORS AS APPLICABLE.
- 9) CONTRACTORS SHALL INSTALL NEW WORK AS SHOWN ON THE CONTRACT DOCUMENTS, AND AS REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF THE WORK. CONTRACTORS SHALL COORDINATE AND INTERFERE THEIR WORK WITH THE WORK OF ALL OTHER TRADES.
- 10) ALL DIMENSIONS AND EXISTING CONDITIONS ARE TO BE CHECKED AND VERIFIED PRIOR TO THE FABRICATION AND INSTALLATION OF ANY PORTIONS OF THE WORK. ANY DISCREPANCY SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION, IN WRITING.
- 11) THE CONTRACTOR IS TO BE RESPONSIBLE FOR AVOIDANCE OF DAMAGE TO NEW AND/OR EXISTING CONSTRUCTION AND THE PROTECTION OF EXISTING CONSTRUCTION. THE CONTRACTOR SHALL WORK AS REQUIRED TO PREVENT DAMAGE. THE CONTRACTOR IS TO PROVIDE ALL TEMPORARY CONSTRUCTION AS REQUIRED.
- 12) THE CONTRACTORS ARE RESPONSIBLE FOR CLEANING UP THEIR OWN WORK AND TO KEEP THE BUILDING AND SITE NEAT AND CLEAN DURING CONSTRUCTION. CLEAN UP (BROOM CLEANED) TO BE PERFORMED DAILY.
- 13) SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. PROVIDE FENCES, GUARD RAILS, LIGHTS, TEMPORARY SHORING, BRACING, ETC., REQUIRED FOR THE SAFETY OF THE PUBLIC AND WORKERS.
- 14) COLORS AND FINISHES OF ALL VISIBLE MATERIALS AND EQUIPMENT ARE TO BE SELECTED AND/OR APPROVED BY THE OWNER IN WRITING UNLESS SPECIFIED OTHERWISE.
- 15) THE CONTRACTOR IS TO BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CORRECT RELOCATION OF EXISTING SERVICES AS INDICATED ON THE DRAWINGS. BEFORE EXCAVATING, LOCATE AND MARK ALL UNDERGROUND SERVICE LINES AS REQUIRED BY THE STATE AND LOCAL AUTHORITIES.
- 16) THE CONTRACTOR IS TO BE RESPONSIBLE FOR METHODS AND SEQUENCE OF CONSTRUCTION.
- 17) THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS, AND CERTIFICATES UNLESS OTHERWISE AGREED UPON WITH OWNER.
- 18) COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR HANDLING, STORAGE, AND INSTALLATIONS OF ALL MATERIALS AND EQUIPMENT EXCEPT WHERE OTHERWISE INDICATED. NOTIFY OWNER AND ARCHITECT IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN MANUFACTURER'S RECOMMENDATIONS AND THE ARCHITECTURAL DRAWINGS AND/OR SPECIFICATIONS.
- 19) THE CONTRACTOR IS TO COORDINATE WITH THE OWNER THE EXTENT OF WORK AREAS AND CONSTRUCTION LIMITS FOR THIS PROJECT.
- 20) ALL DIMENSIONS ON THE PLANS ARE ACTUAL, FRAME DIMENSIONS AND NOMINAL MASONRY SIZES UNLESS OTHERWISE NOTED.
- 21) PRELIMINARY AND DRAFT STOPPING SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED BY SECTION 717 OF THE 2003 INTERNATIONAL BUILDING CODE, OR CODE USED BY LOCAL GOVERNING BODY. THE LOCAL MUNICIPAL AUTHORITY, AND/OR OTHER AGENCIES HAVING JURISDICTION AT THE LOCATION OF CONSTRUCTION.
- 22) CONTRACTORS SHALL INSTALL AND MAINTAIN, FOR THE DURATION OF THE CONSTRUCTION, ALL FIRE RATED ASSEMBLIES AS REQUIRED BY CODE.
- 23) ALL COLUMNS OR BEAMS WHICH PROTRUDE OUT OF WALL OR CEILING ASSEMBLIES AND INTO FINISHED SPACES SHALL BE FINISHED TO MATCH ADJACENT WALL OR CEILING SURFACES UNLESS NOTED OTHERWISE. IF QUESTIONS ARISE, CONTACT THE ARCHITECT, IN WRITING, FOR CLARIFICATION.
- 24) FUR OUT AND PACK OUT WALLS AND CEILINGS AS REQUIRED TO CONCEAL ALL PIPING AND DUCTWORK, UNLESS NOTED OTHERWISE.
- 25) MAXIMUM STAIR RISER HEIGHTS SHALL BE 7 INCHES AND MINIMUM RISER HEIGHT SHALL BE 4 INCHES. MINIMUM TREAD DEPTH SHALL BE 11 INCHES MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE OF THE TREADS LEADING EDGE.
- 26) THE MAXIMUM SLOPE OF MEANS OF EGRESS RAMP FOR USE BY PEOPLE WITH PHYSICAL DISABILITIES, SHALL BE ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12). RAMP SHALL NOT HAVE A VERTICAL RISE GREATER THAN 30 INCHES BETWEEN LANDINGS. CONSULT ADAAG REGULATIONS FOR OTHER DESIGN STANDARDS.
- 27) ALL STAIRS, RAMPS, AND RELATED HANDRAILS AND GUARDRAILS SHALL BE CONSTRUCTED AND INSTALLED AS REQUIRED BY CODE.
- 28) COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, AND SPRINKLER INSTALLATIONS PRIOR TO CONSTRUCTION.

- 29) REVIEW AND COORDINATE ALL ARCHITECTURAL AND ENGINEERING DOCUMENTATION AND SPECIFICATIONS AND COORDINATE ALL WORK WITH ALL OTHER TRADES AS REQUIRED FOR PROPER AND TIMELY COMPLETION OF THE WORK.
- 30) OFFSET AND ADJUST INTERIOR STUD WALLS AND INSTALL STUDS AND BLOCKING AS REQUIRED TO ACCEPT VARYING THICKNESSES OF SUB SURFACES OR ASSEMBLIES.
- 31) THESE DRAWINGS ARE THE SOLE PROPERTY OF THE ARCHITECT. THEY ARE PROVIDED TO THE OWNER, CONTRACTOR, SUBCONTRACTOR(S), AND/OR MATERIAL AND EQUIPMENT SUPPLIER(S) FOR THEIR USE SOLELY WITH THE RESPECT TO THIS PROJECT. THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THE DRAWINGS AND WILL RETAIN ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS. DUPLICATION OR REUSE OF THESE DRAWINGS, IN WHOLE OR IN PART, OTHER THAN FOR EXECUTION OF THIS PROJECT, WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT, IS PROHIBITED.

CODE REVIEW:

15-35 - SOLEBURY TOWNSHIP SALT STORAGE BUILDING
SOLEBURY TOWNSHIP MUNICIPAL COMPLEX
SUGAN ROAD, SOLEBURY TOWNSHIP, BUCKS COUNTY, PA.
BUILDING CODE REVIEW

PENNSYLVANIA STATE UNIFORM CONSTRUCTION CODE, PA-UCC, ACT-45 OF 1999 AS AMENDED
THE INTERNATIONAL BUILDING CODE - 2009
THE INTERNATIONAL BUILDING CODE - 2012, CHAPTER 11 ACCESSIBILITY
ICC/ANSI A117.1-2009 - ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES
THE INTERNATIONAL MECHANICAL CODE - 2009
THE INTERNATIONAL PLUMBING - 2009
THE INTERNATIONAL FIRE CODE - 2009
THE INTERNATIONAL ENERGY CONSERVATION CODE - 2009
NFPA 70-2008, NATIONAL ELECTRIC CODE.

PROJECT OVERVIEW:
THE PROJECT IS FOR THE CONSTRUCTION OF A NEW MUNICIPAL SALT STORAGE BUILDING.
THE PROPOSED BUILDING WILL NOT HAVE AN AUTOMATIC SPRINKLER SYSTEM.

BUILDING AREA CALCULATIONS:
BUILDING - WITHOUT AN AUTOMATIC SPRINKLER SYSTEM
PROPOSED
TOTAL: 3,600 SF

CHAPTER 3: BUILDING USE & CLASSIFICATION
312 UTILITY AND MISCELLANEOUS GROUP U
312.1 AGRICULTURAL BUILDING

CHAPTER 5: GENERAL BUILDING HEIGHTS & AREAS
503 GENERAL HEIGHT AND AREA LIMITATIONS
503 (TABLE) ALLOWABLE HEIGHT AND BUILDING AREA
TYPE OF CONSTRUCTION: TYPE VB
U-USE: 1 STORIES/ 5,500 SF PER FLR. PERMITTED

CHAPTER 6: TYPES OF CONSTRUCTION
602 CONSTRUCTION CLASSIFICATION
602.5 TYPE VB-ALL STRUCTURAL BUILDING ELEMENTS ARE OF NONCOMBUSTIBLE MATERIALS.
601 (TABLE) FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HRS.)

TYPE - IIB
- STRUCTURAL FRAME 0 HRS.
- BEARING WALLS EXTERIOR 0 HRS.
- NONBEARING WALLS 0 HRS.
- FLOOR CONSTRUCTION 0 HRS.
- ROOF CONSTRUCTION 0 HRS.
602 (TABLE) FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE X>30 FT., GROUP:U, = 0 HRS.

CHAPTER 8: INTERIOR FINISHES:
603 WALL AND CEILING FINISHES
CLASS A: FLAME SPREAD 0-25, SMOKE DEVELOPMENT 0-450
CLASS B: FLAME SPREAD 26-75, SMOKE DEVELOPMENT 0-450
CLASS C: FLAME SPREAD 76-200, SMOKE DEVELOPMENT 0-450
603.5 (TABLE) INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY - (NONSPRINKLERED)
U-USE: NO RESTRICTIONS

CHAPTER 9: FIRE PROTECTION SYSTEMS:
NON REQUIRED

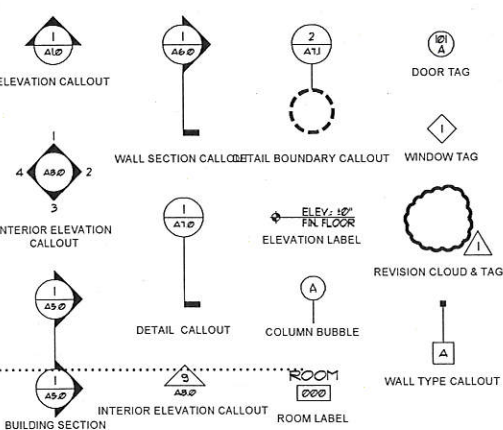
CHAPTER 10 - MEANS OF EGRESS:
1004 OCCUPANT LOAD

1006 THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING IS OCCUPIED

ABBREVIATIONS:

AFF.	ABOVE FINISH FLOOR	FLR.	FLOOR	PFB.	PREFABRICATED
ALUM.	ALUMINUM	FLR.	FLOURESCENT	PLT.	PLATE
ARCH.	ARCHITECT (URAL)	FOC.	FOUNDATION	FLAM.	PARALLAM
APPROX.	APPROXIMATE	FTG.	FOOTING	FLYWD.	PLYWOOD
ATC.	ACOUSTICAL TILE CEILING	GC.	GENERAL CONTRACTOR	PRF.	PREFORMED
BSMT.	BASEMENT	GRD.	GRADE	PTD.	PAINTED
BKG.	BEARING	GRVL.	GRAVEL	PVC.	POLYVINYL CHLORIDE
BIT.	BITUMINOUS	GWB.	GYPSPUM WALLBOARD	QT.	QUARRY TILE
BLK (S)	BLOCKING	HCR.	HEADER	RAD.	RADIUS
CO.	CASED OPENING	HB.	HOSE BIB	RD.	ROOF DRAIN
CPT.	CARPET	HM.	HOLLOW METAL	RL.	RAIL
CST.	CAST STONE	HT.	HEIGHT	RFR.	REFRIGERATOR
CLK (S)	CAULKING	HWH.	HOT WATER HEATER	RO.	ROUGH OPENING
CLG.	CEILING	HVAC.	HEATING, VENTILATION, AC	RBT.	RUBBER TILE
CLT.	CERAMIC TILE	INSUL.	INSULATION	SC.	SOLID CORE
CLR.	CLEAR	INT.	INTERIOR	SOPR.	SCUPPER
CMU.	CONCRETE MASONRY UNIT	JC.	JANITOR CLOSET	SHTHG.	SHEATHING
COL.	COLUMN	KT.	KITCHEN	SFCD.	SPECIFICATION(S)
COND.	CONCRETE	LAD.	LADDER	STD.	STANDARD
CONT.	CONTINUOUS	LAM.	LAMINATE	STL.	STEEL
DAM.	DAMETER	LAV.	LAVATORY	STN.	STAINED
DN.	DIMENSION	LT.	LIGHT	STR.	STORAGE
DR.	DOOR	MAS.	MASONRY	TC.	TERRA COTTA
DS.	DOWNSPOUT	MO.	MASONRY OPENING	THK.	THICK
DW.	DISHWASHER	MX.	MAXIMUM	TPTN.	TOILET PARTITION
DWG.	DRAWING	MECH.	MECHANICAL	TOP.	TOP OF PLATE
ELEC.	ELECTRICAL	MTL.	METAL	TOS.	TOP OF STL
ELEV.	ELEVATOR	MNM.	MINIMUM	TGUS & GROOVE	
EQ.	EQUAL	MSC.	MISCELLANEOUS	TZ.	TERRAZZO
EP.	EQUIPMENT	MOLDG.	MOULDING	TYP.	TYPICAL
EXTG.	EXISTING	MOUN.	MOUNTED	UNF.	UNFINISHED
EXT.	EXTERIOR	NAT.	NATURAL	URNL.	URNAL
FOC.	FACE OF CONCRETE	NIC.	NOT IN CONTRACT	VN.	VINYL
FOM.	FACE OF MASONRY	NTS.	NOT TO SCALE	VCT.	VINYL COMPOSITE TILE
FOS.	FACE OF STUD	CA.	OVERALL	WC.	WATER CLOSET
FGL.	FIBERGLASS	CC.	ON CENTER	WN.	WINDOW
FIN.	FINISH	CHSD.	OVERHEAD GARAGE DOOR	WG.	WRED GLASS
FE.	FIRE EXTINGUISHER	CPNG.	OPENING	WD.	WOOD
FLG.	FLASHING	PART.	PARTICLE		

SYMBOLS:



SHEET LIST - ARCHITECT

- CS COVER SHEET
A1.0 FLOOR PLAN + ROOF PLAN
A2.0 BUILDING ELEVATIONS
A3.0 BUILDING SECTIONS + DETAILS

COVER SHEET

SOLEBURY TOWNSHIP
NEW SALT STORAGE BUILDING
SUGAN RD., SOLEBURY, BUCKS COUNTY, PA

dwg. no.:

CS

date: 06.08.15

drawn by JAW checked by JML

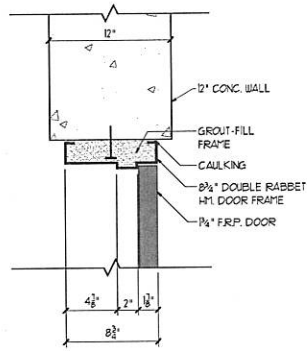
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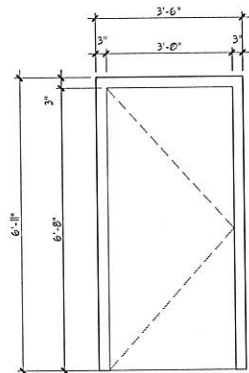
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DOOR & FRAME SCHEDULE - FIRST FLOOR											
DOOR NO	ROOM NAME	DOOR					FRAME			FIRE RATING LABEL	NOTES
		WIDTH	HEIGHT	THK	MAT'L	FINISH	ELEV	MAT'L	FINISH	DETAIL	
501	SALT STORAGE	3'-0"	6'-8"	1 3/4"	FRP	FNT	A	FRP	FNT	3/A-10	

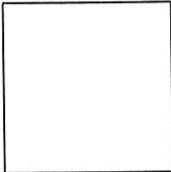
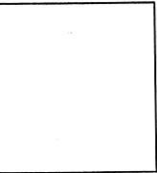
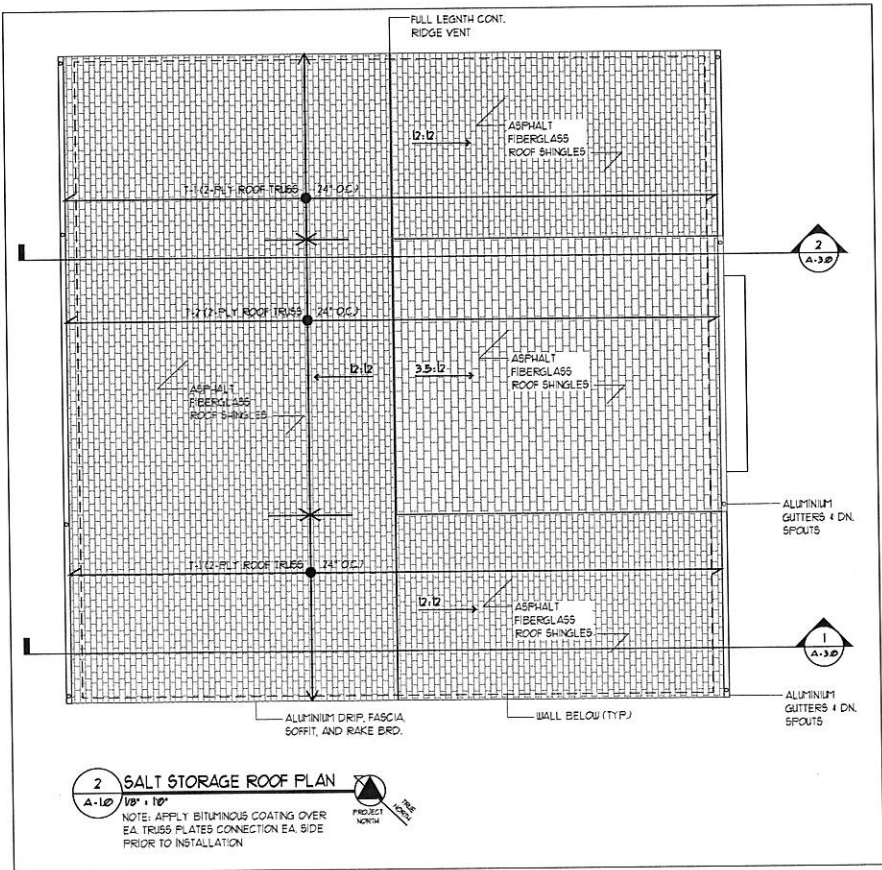
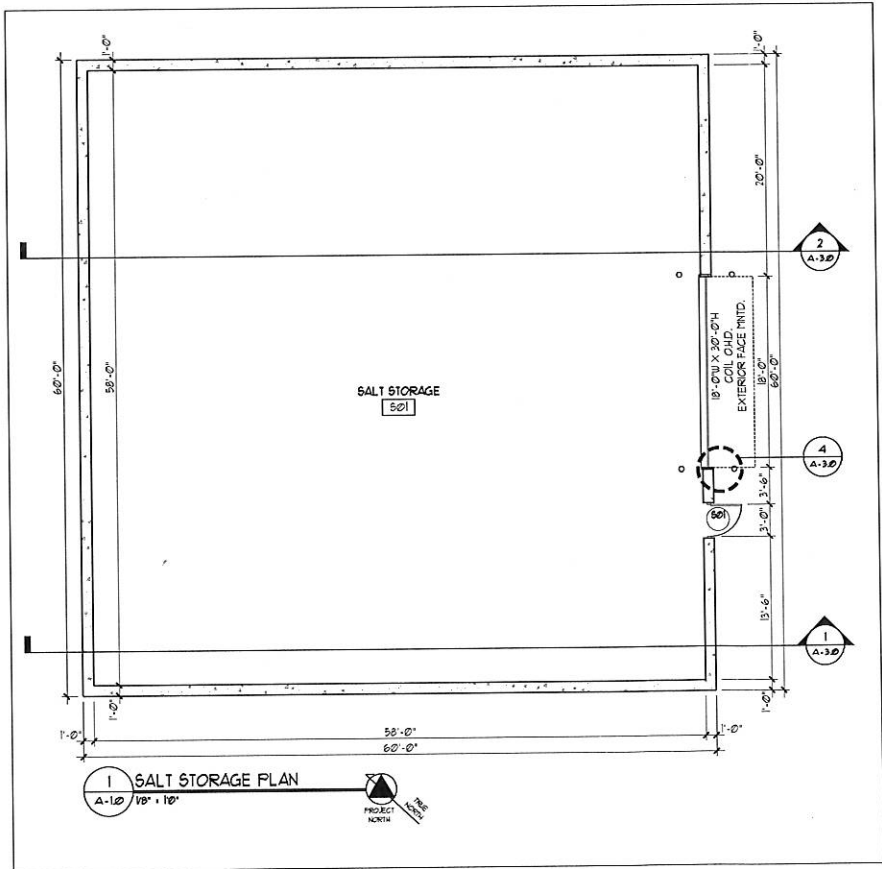
FRP = FIBERGLASS REINFORCED PLASTIC




3 DOOR HEAD/JAMB
A-10 1/2\"/>



1 DOOR ELEVATION
A-10 1/2\"/>





PHILLIPS & DONOVAN ARCHITECTS, LLC
PhillipsDonovanArchitects.com
P.O. Box 160, 3160 Redminister Road, Redminister, PA 18910 Phone: 215-795-2400
210 West Broad Street, Bethlehem, PA 18018 Phone: 610-317-0221

revisions

FLOOR PLAN + ROOF PLAN

SOLEBURY TOWNSHIP
NEW SALT STORAGE BUILDING
SUGAN RD., SOLEBURY, BUCKS COUNTY, PA

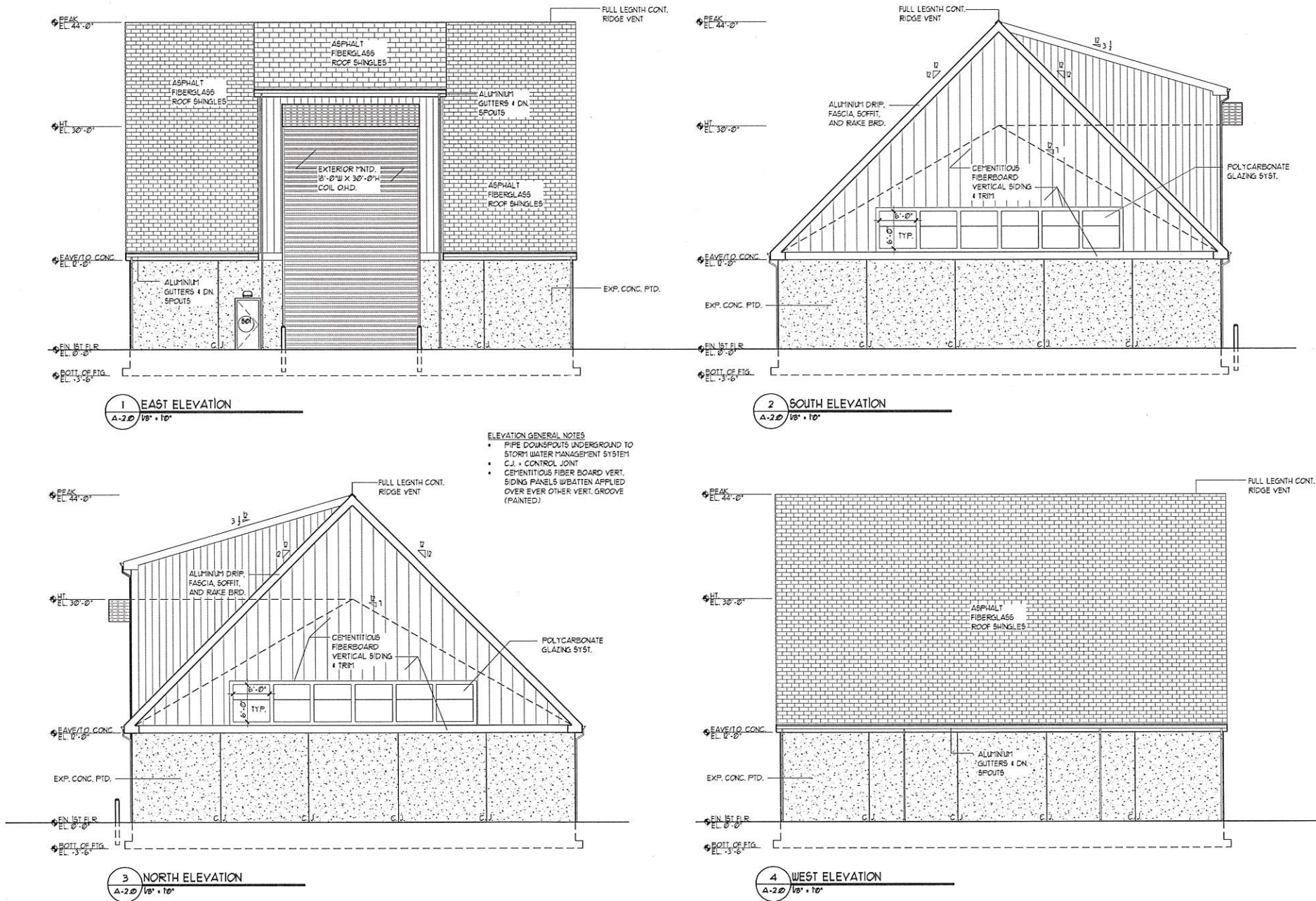
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drawn by: JEW checked by: JML

project no.
15-35

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REVISIONS

BUILDING ELEVATIONS

SOLEBURY TOWNSHIP
NEW SALT STORAGE BUILDING
SUGAN RD., SOLEBURY, BUCKS COUNTY, PA

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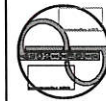
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drawn by JEW checked by JML

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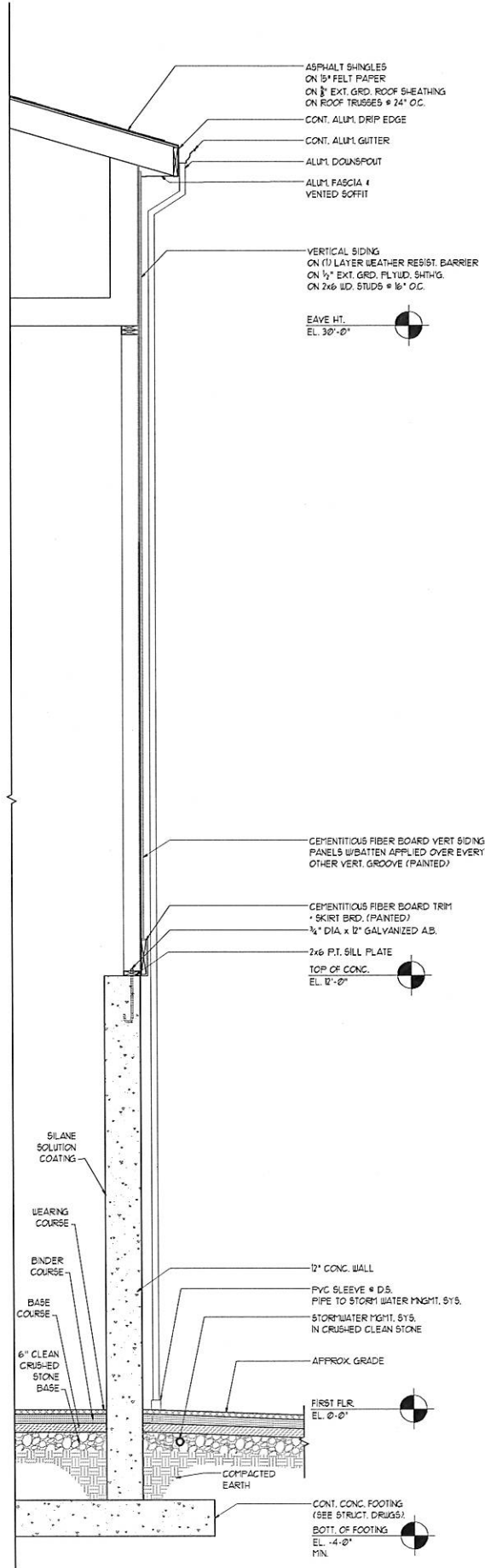
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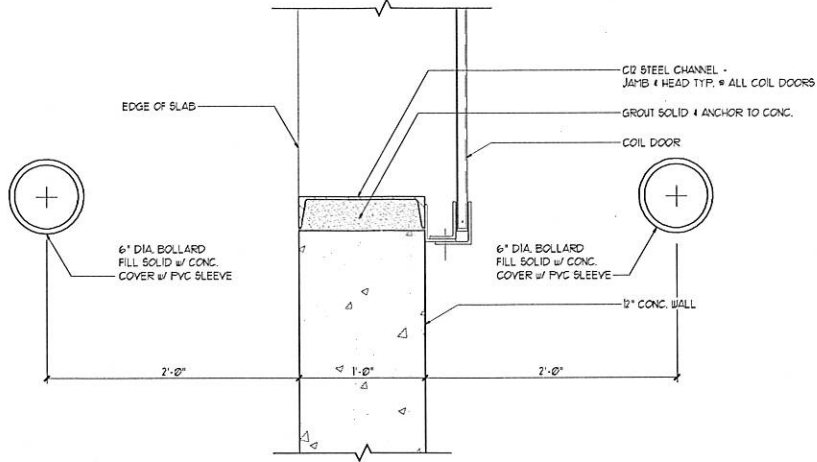
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DONOVAN
ARCHITECTS, LLC.
PhillipsDonovanArchitects.com

P.O. Box 160, 3160 Bedminster Road, Bedminster, PA 18810 Phone: 215-795-2400
210 West Broad Street, Bethlehem, PA 18018 Phone: 610-317-0221

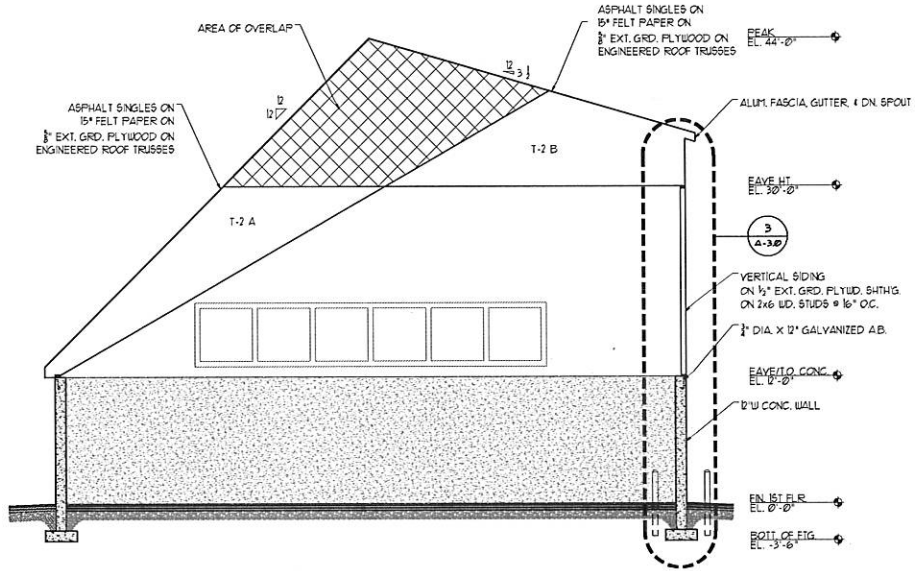
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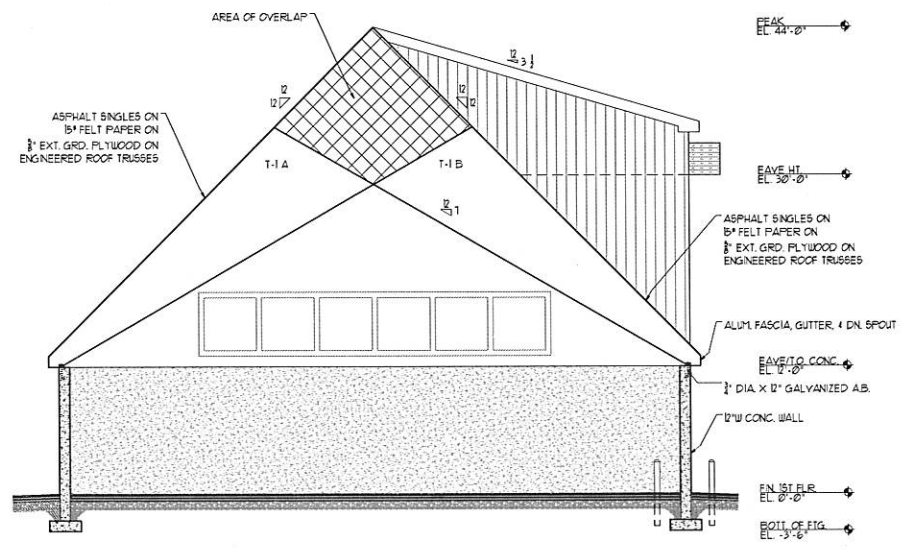
3 SECTION DETAIL
A-3.0 1/2" x 1"



4 PLAN DETAIL @ BOLLARD
A-3.0 1/2" x 1"



2 BUILDING SECTION "B"
A-3.0 1/8" x 10"



1 BUILDING SECTION "A"
A-3.0 1/8" x 10"

PHILLIPS & DONOVAN ARCHITECTS, LLC.
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REVISIONS

BUILDING SECTIONS + DETAILS

SOLEBURY TOWNSHIP
NEW SALT STORAGE BUILDING
SUGAN RD., SOLEBURY, BUCKS COUNTY, PA

dwg. no.: **A-3.0**

date: **06.08.15**

drawn by: **JEW** checked by: **JML**

project no.: **15-35**